

the following business day.
 *Calls will be returned no later than the end of
 Public Works: 541.682.8400
 Land Use: 541.682.8336
 Residential Building Code: 541.682.5611
 Plan Submittal: 541.682.5505
 Call our question lines*:
www.eugene-or.gov/bps

to permit and plan review requirement questions 24 hours a day via the Internet at:

GET ANSWERS

- Elevations
- Floor Plans
- Framing Plans
- Cross Sections
- Site Plan
- Foundation
- Plan

remodeling project:
 requirements for a new home or major
 Typical minimum drawing and detail
 calculations can be multi-page pdf.
 individual files. Manuals and
 Drawings must be uploaded as

Plans and supporting documentation must be submitted in pdf format.

Submittal requirements:

- Application and plans must be submitted through ebuild.
- Information available at www.eugene-or.gov/ebuild.
- Drawings must be drawn to scale with dimensions showing all work to be done.
- Plans and supporting documentation must be submitted in pdf format.

Construction drawings of your project are required for the City's plan check process.

PLAN REQUIREMENTS FOR RESIDENTIAL PROJECTS

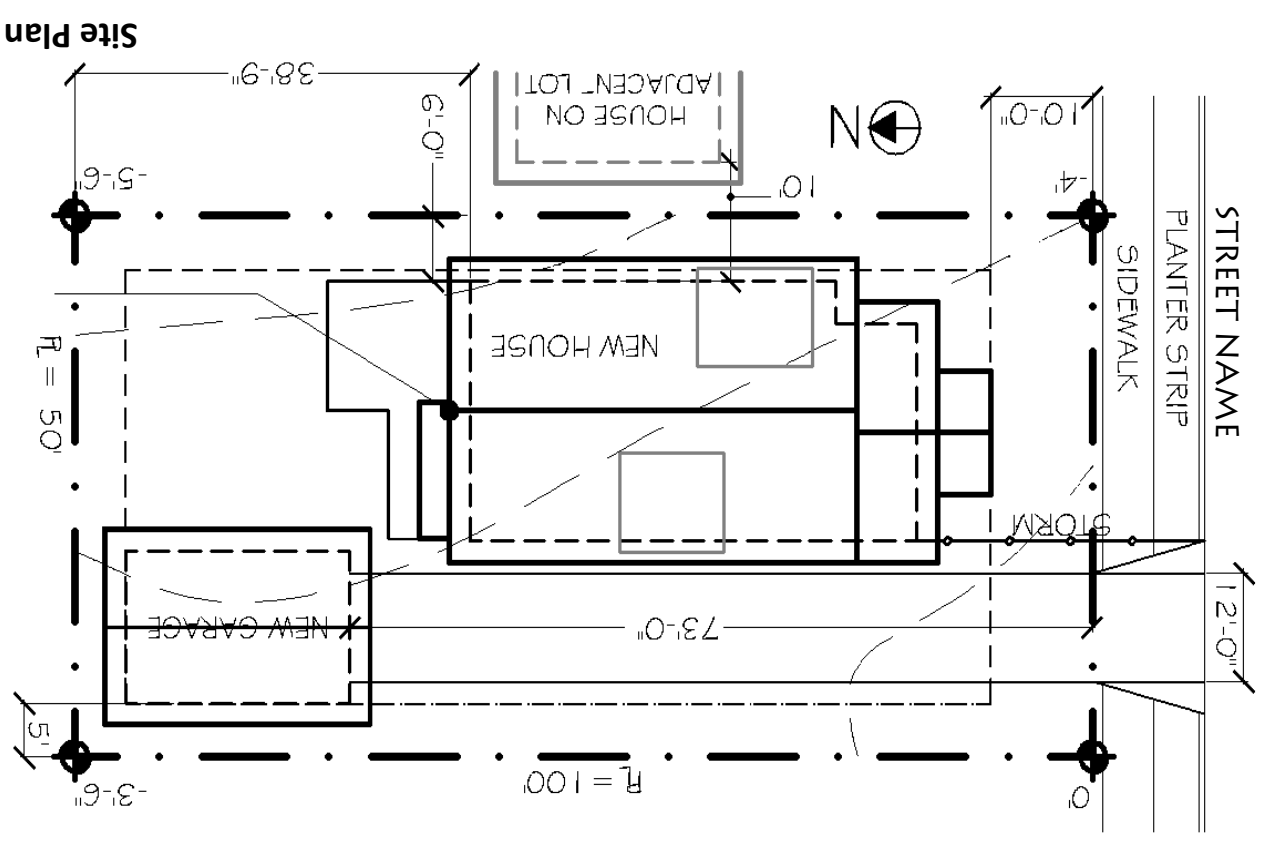
Note: This document should not be used as a substitute for codes and regulations. The applicant is responsible for compliance with all applicable codes and regulations, whether or not described in this document.



Planning & Development
 Building Permit Services

www.eugene-or.gov/bps

99 W. 10TH Avenue; Eugene, OR 97401
 P 541.682.5086 • F 541.682-5593



- Paper size: 11" x 17" or larger with a 2" clear border for City notes.
- Minimum scale: 1" = 20' or 1/16" = 1' and label on drawing.
- Show:
 - North arrow.
 - The entire property including boundaries and dimensions.
 - Location and size with dimensions of existing and proposed structures.
 - Dimensions between structures.
 - Dimensions to property lines.
 - Indicate driveways, fences, sidewalks, curb cuts, etc.
 - Name(s) of bordering streets and alleys.
- Show elevations at lot corners and contour lines at 2 foot intervals for lots with a slope greater than 4 feet.
- Show compliance with solar setback requirements - contact Land Use staff with questions (541) 682-8336.
- Describe the site drainage destination and type - contact Public Works Engineering with questions (541) 682-8400.
- Show public or private tree location and identification if removing or working within 10 feet of trees. (A tree removal permit may be required.) Not shown on sample plan.
- Show location and type of any easements.

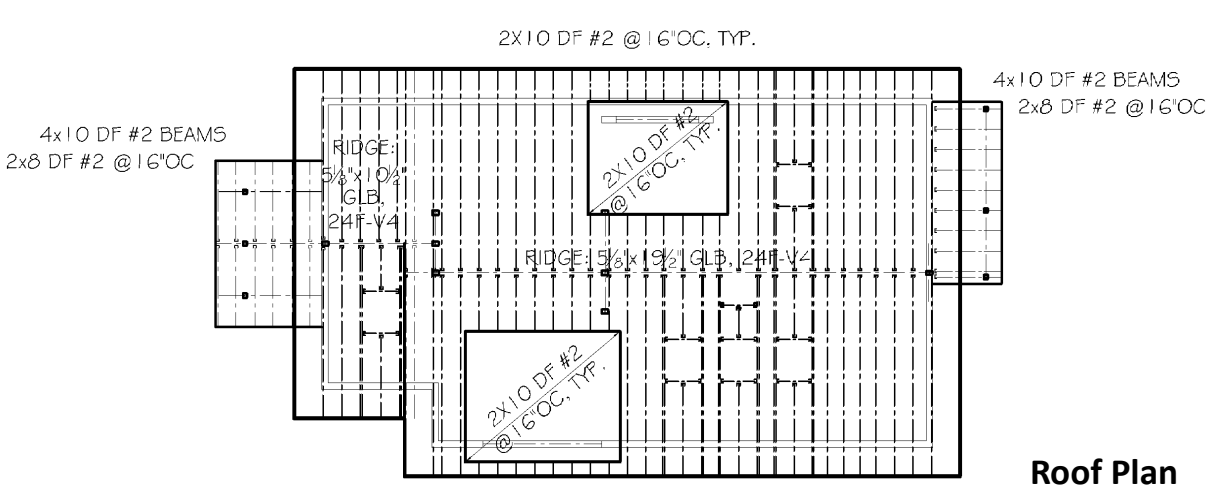
ROOF & FLOOR FRAMING PLANS

Clearly show:

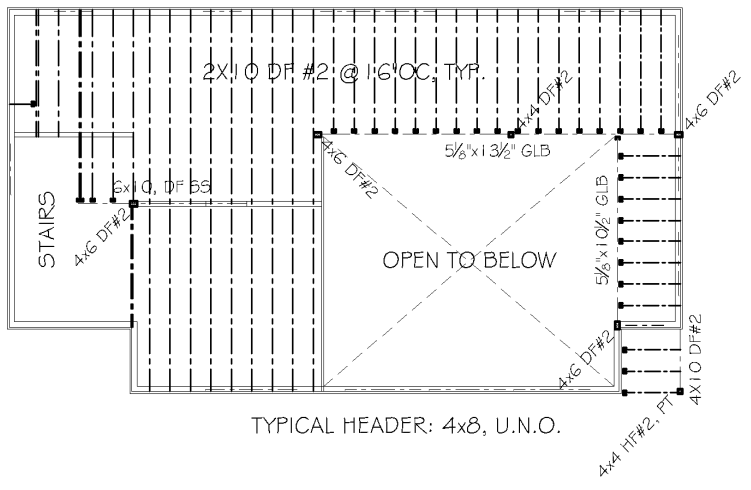
- A typical scale is: 1/4" = 1'.
- Size and spacing of all framing members.
- Show all beams and header sizes and locations. If using non-standard lumber provide calculations and cross reference information into plans.
- Show all bearing walls.

Details

- If using engineered trusses, truss design must be submitted with plans.



Roof Plan



Framing Plan - Upper Level
 Framing Plan - Main Level

See second Page Foundation & Floor Framing Plan

Note:

For complex and nonstandard framing the Building Code requires that structural calculations be submitted to show the structure will safely support required loads.

FLOOR PLANS

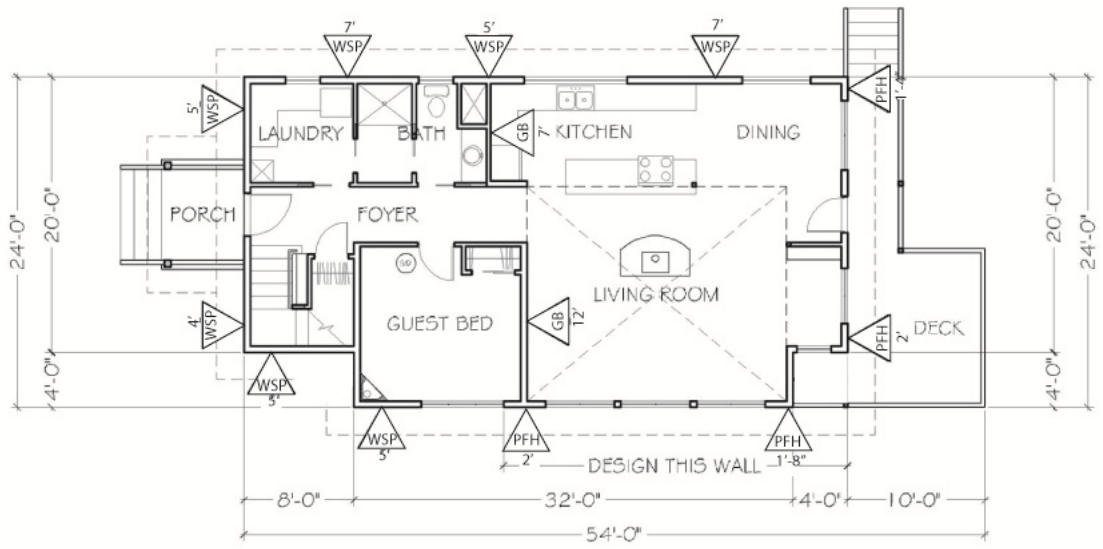
For each floor, including basement:

- A typical scale is: 1/4" = 1', indicate on the drawing what scale is used.
- Label areas existing and proposed work for remodels and additions.

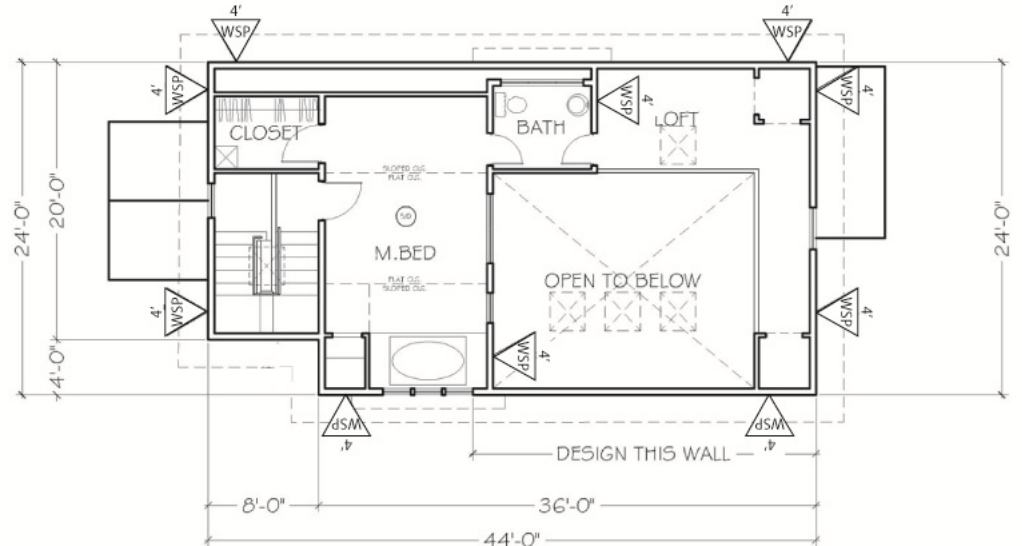
Sample Key for Remodel or Addition:

- Existing Walls:
- New Walls:
- Removed Walls:

- Draw all rooms, partitions, spaces, etc. showing the size and arrangement for each.
- Show location of plumbing fixtures, appliances, fireplaces, and heating systems, etc.
- Show window size and type; door size and direction of swing; header sizes not shown on sample plans.
- Label the use of each room.
- Show locations of braced wall lines.
- Identify bracing methods, and location and length of braced wall panels or engineered shear walls.
- For the energy efficiency requirements indicate the additional measure option selected, for more information contact Residential Plans Examiner at (541) 682-5611.



Floor Plan - Main Level



Floor Plan - Upper Level

ELEVATIONS

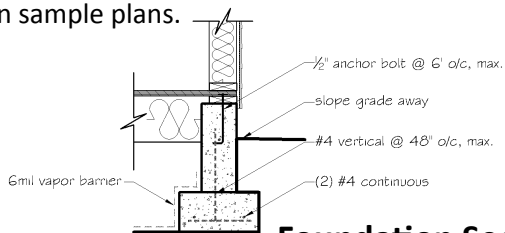
- A typical scale is: 1/4" = 1', indicate on the drawing what scale is used.
- Label each elevation: North, South, East, and West.
- Show all sides of the building with exterior materials indicated.
- Show the finished grade line.
- Show building height from grade not shown on sample plans.



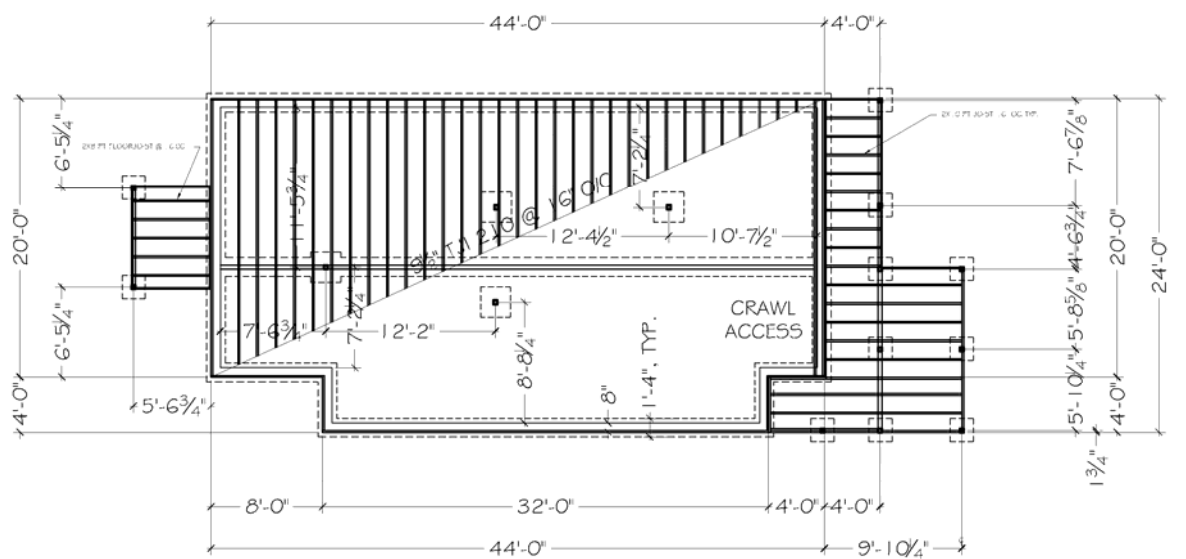
North Elevation

FOUNDATION OR SUPPORT SYSTEM

- A typical scale is: 1/4" = 1', indicate on the drawing what scale is used.
- Layout of foundation walls and concrete slabs, with dimensions.
- Size and location of continuous and isolated footings not shown on sample plans.
- Size, direction, and spacing of floor joists.
- Size and location of floor beams and posts.
- Mono or two pour system.
- Location of underfloor access opening.
- Location of underfloor ventilation openings not shown on sample plans.



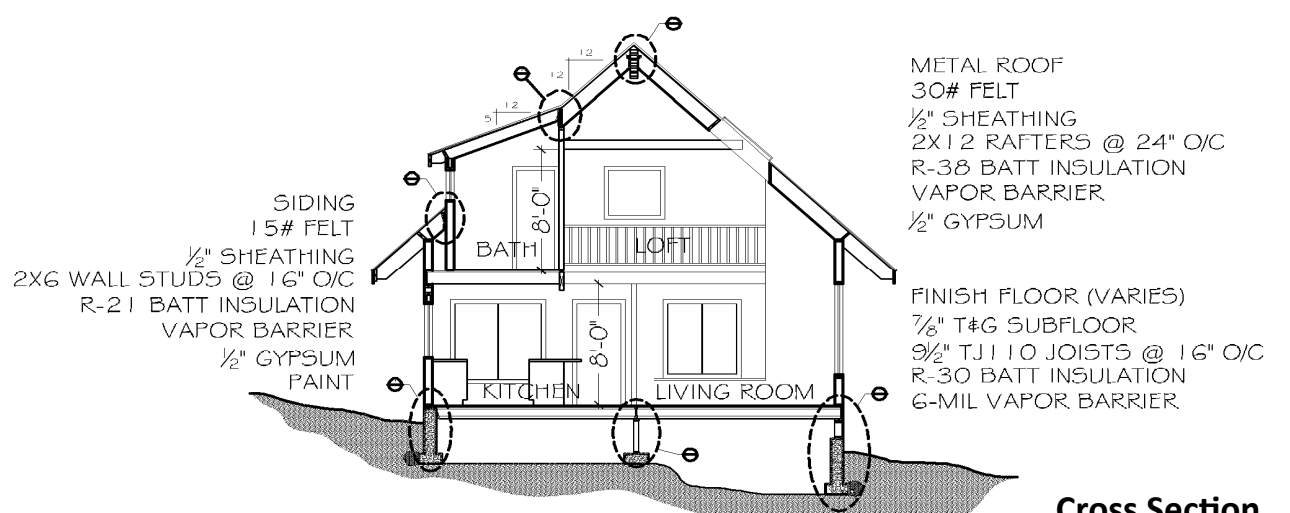
Foundation Section



Foundation & Main Level Floor Framing Plan

CROSS SECTION

- A typical scale is: 1/4" = 1', indicate on the drawing what scale is used.
- Depict all floor, wall, and roof framing with size and spacing of members.
- Indicate height of crawl spaces, floor to ceiling dim., and pitch of the roof.
- Include footings, foundation, and finish grade in the cross section.
- Label all roof and exterior wall materials including insulation and sheathing.



Cross Section