



# Renter Protections Work Session

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Stephanie Jennings, Grants Manager  
Planning & Development Department





# Presentation Summary

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- Provide overview of Eugene's rental housing market conditions and trends.
- Provide overview of existing goals, local policies, and programs that affect renters.
- Identify priority policy areas for further exploration and next steps.





# Who rents and why?

- There has been steady growth in the number of households that rent both locally and nationally.
- Nationally, 37% of households rent compared with 31% in 2005.
- Renting has increased across all age groups, household, and income types.
- Households headed by people age 30-69 have driven most of this growth.
- The Great Recession temporarily suppressed household formation among younger people but increased renter demand due to foreclosures.





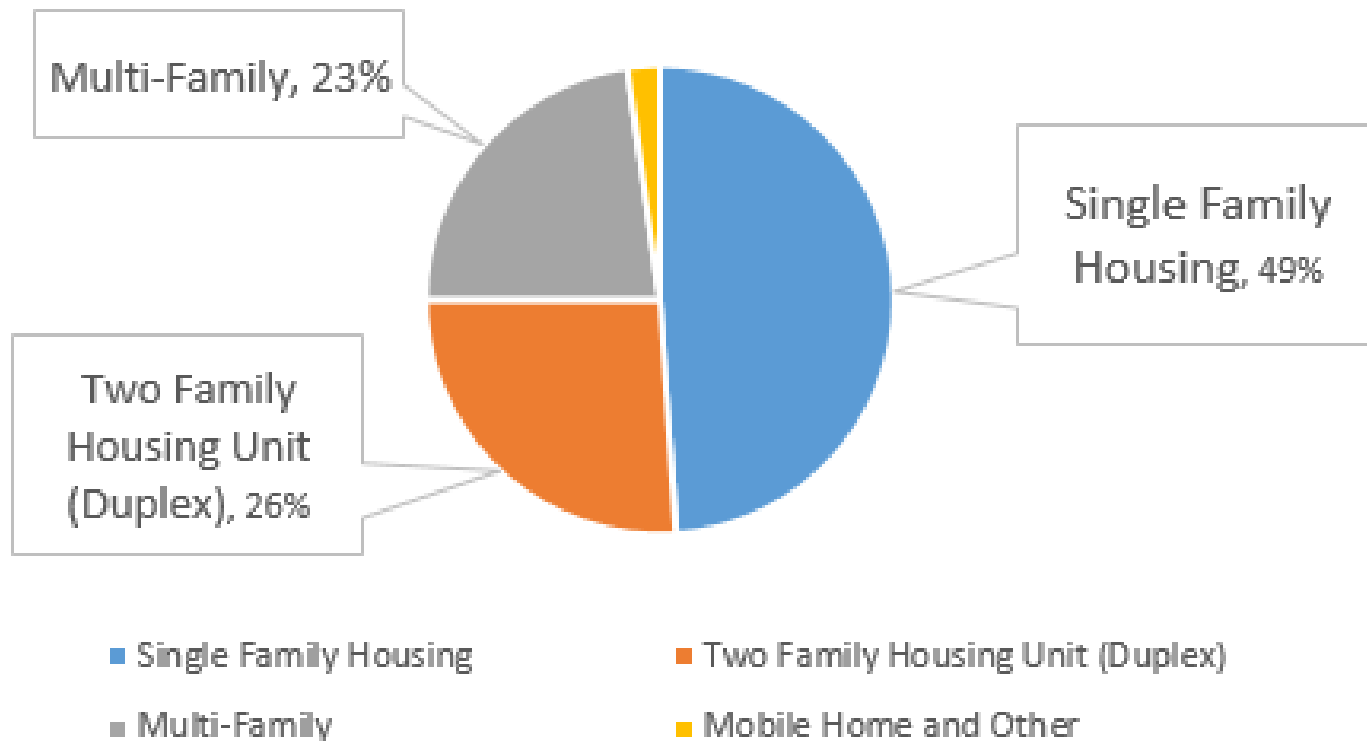
# Overview of Eugene's Rental Market

- 53% of Eugene households now rent their homes compared with 48% in 2000.
- Median rents have increased for all unit types across Eugene and vacancy rates remain low.
- The number of rental units has increased steadily over the past several years to over 18,000 units.
- There are over 3,500 subsidized affordable rental housing units in Eugene with extensive waitlists.
- Development of affordable rental housing has slowed due to declining resources and increased competition for existing resources.



# Rental units by Structure Type

Eugene Rental Properties - January 2017



# Examples of Subsidized Affordable Housing



**Lamb Building**  
35 units



**Willakenzie Crossing**  
56 affordable housing units



**Stellar Apartments**  
54 affordable housing units



**Bothy Cottage**  
5 bedroom group home for  
female ex-offenders with children



**29<sup>th</sup> Place Apartments**  
35 units for people with  
mental illness

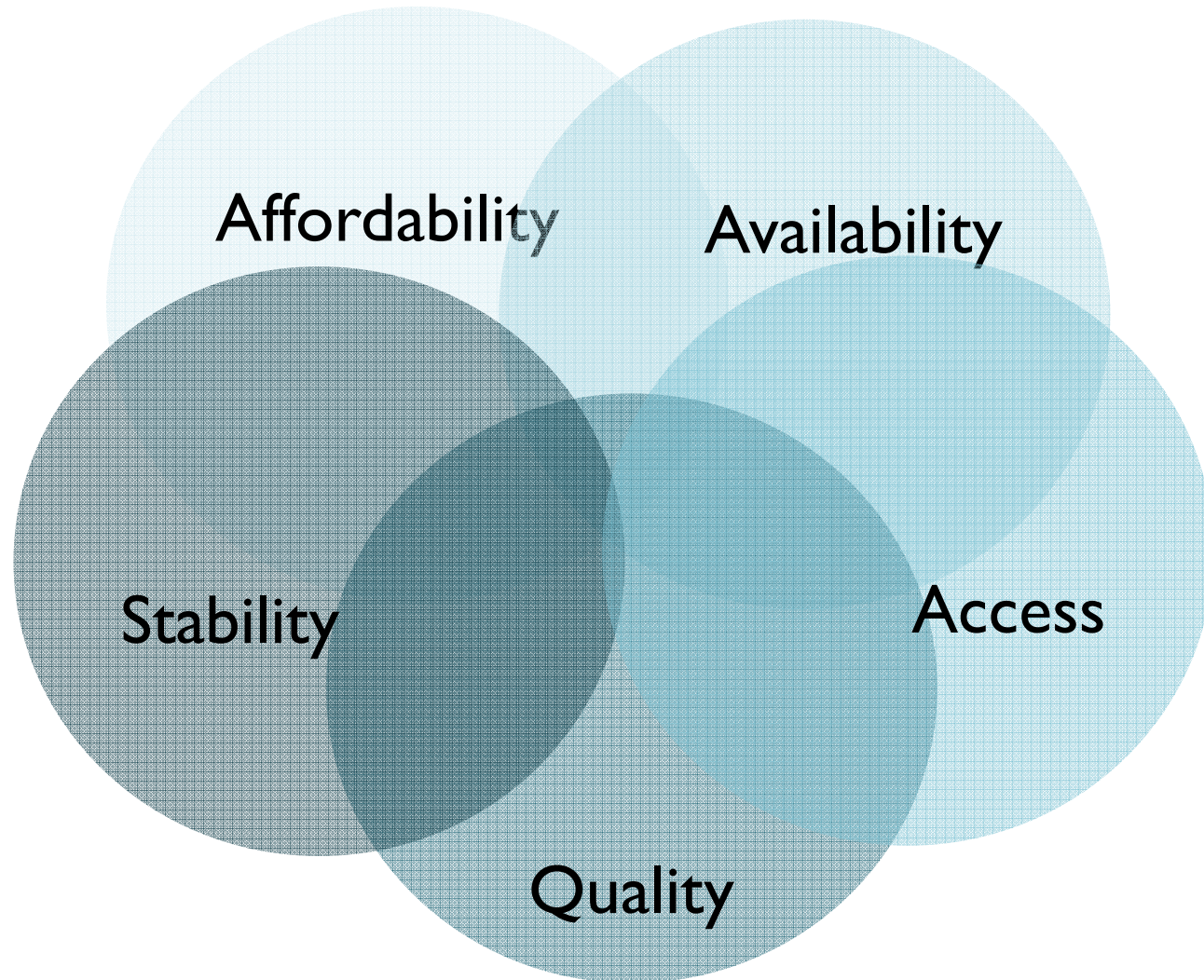


**Roosevelt Crossing**  
45 units for male  
ex-offenders





# Dimensions of Housing Need





# Rental Housing Affordability

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## Market Conditions

- A majority of Eugene renters (54%) have a housing cost burden. This means they pay more than 30% of their income for rent and utilities.
- 76% of low-income renters have a housing cost burden and 51% have a severe housing cost burden. A severe cost burden means they pay more than 50% of their income for rent and utilities.
- Too many low-income households are competing for a limited supply of market rate and subsidized units with affordable rents.

## Related Goals and Policies adopted by Council

- Increase the supply of affordable housing units using federal funds and in-kind City resources. (Eugene-Springfield 2015 Consolidated Plan)
- Provide affordable housing for all income levels. (Envision Eugene)







# Rental Housing Availability

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## Market Conditions

- The number of renter households have increased at all income levels.
- Too many moderate-income households are competing for a limited supply of moderate-rent units.
- The cost of developing housing is greater than what low and moderate-income households can afford to pay in rent.
- Growth in number of high-income renters is preventing filtering of units from high to moderate rents.

## Related Goals and Policies adopted by Council

- Increase the overall supply of housing units (Envision Eugene)
- Encourage high quality, multi unit downtown housing (Multi Unit Property Tax Exemption Program)





# Rental Housing Access

## Market Conditions

- Local and national research shows access to rental housing is impacted by race, national origin, familial status, disability, source of income, and other characteristics of the household.
- Some rental housing application and leasing policies make it difficult for households to find and retain rental housing. Renters have expressed concerns regarding application fees, deposits, and other leasing practices.

## Related Goals and Policies adopted by Council

- Remove barriers to affordable and supportive housing. Provide fair housing services and education. (Eugene-Springfield 2015 Consolidated Plan)
- Housing discrimination and complaint system established in local code (Eugene Human Rights Code)





# Rental Housing Quality

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## Market Conditions

- Almost two-thirds of Eugene's housing stock was built prior to 1980. Lower cost rental units tend to be older and in poorer condition.
- While Oregon tenant-landlord law sets habitability standards residents must go to small claims court to seek damages.

## Related Goals and Policies adopted by Council

- Eugene Rental Housing Code (Eugene City Code)
- Rehabilitate existing housing stock affordable to low-income persons (Eugene-Springfield 2015 Consolidated Plan)





# Rental Housing Stability

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## Market Issue

- Renter concerns have emerged regarding notifications, rent increases, lease terminations, and no cause evictions.
- Prominence of these issues across the state led to recent legislation on notices of rent increases. Multiple housing bills have been introduced at the legislature to address no cause evictions and increase renter stability.

## Related Goals and Policies adopted by Council



- Condominium and Manufactured Home Park Closure Ordinance (Eugene City Code)





# Next Steps

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## Identify desired outcomes

- Affordability
- Availability
- Access
- Quality
- Stability



## Research market conditions & policy options

- Conduct research to better understand housing market conditions.
- Identify options for expanding existing programs or adopting new programs and policies.
- Consult with Housing Policy Board.



## Bring back to Council for consideration

- Develop further analysis and policy options for Council consideration at future work session.

